

WELCOME HISTORIC OLD MABLETON

31 LOTS AVAILABLE
SOLD BY THE CITY OF MABLETON, GEORGIA
THE FIRST DEPOT AND TOWN ON THE GEORGIA PACIFIC R.R.

Residential Design Guidelines

Single Family
Townhomes

Multifamily/Condo
Streetscape



Residential Design Guidelines

Table of Content:

1. Design Guideline Intent _____	3
2. Applicability _____	4
3. Existing Residential Context _____	6
4. Single Family Detached _____	8
5. Townhomes _____	16
6. Multifamily/Condo _____	25
7. Residential Streetscape Environment _____	33

Residential Design Guidelines

Design Guidelines Intent and Goals:

- Produce a high quality living environment for all Historic Mableton residents;
- Encourage renewed investment in Historic Mableton that is compatible with the existing character and context;
- Clarify and enhance the relationship between new development, public streets and open spaces;
- Protect significant natural features such as mature vegetation, street trees, historic structures and open spaces;
- Maintain appropriate overall scale and pattern of development within the study area;
- Consolidate service areas to minimize impact on public streets and open spaces;
- Utilize the results from the 2001 Visual Preference Survey as the aesthetic basis for the guidelines.

Residential Design Guidelines

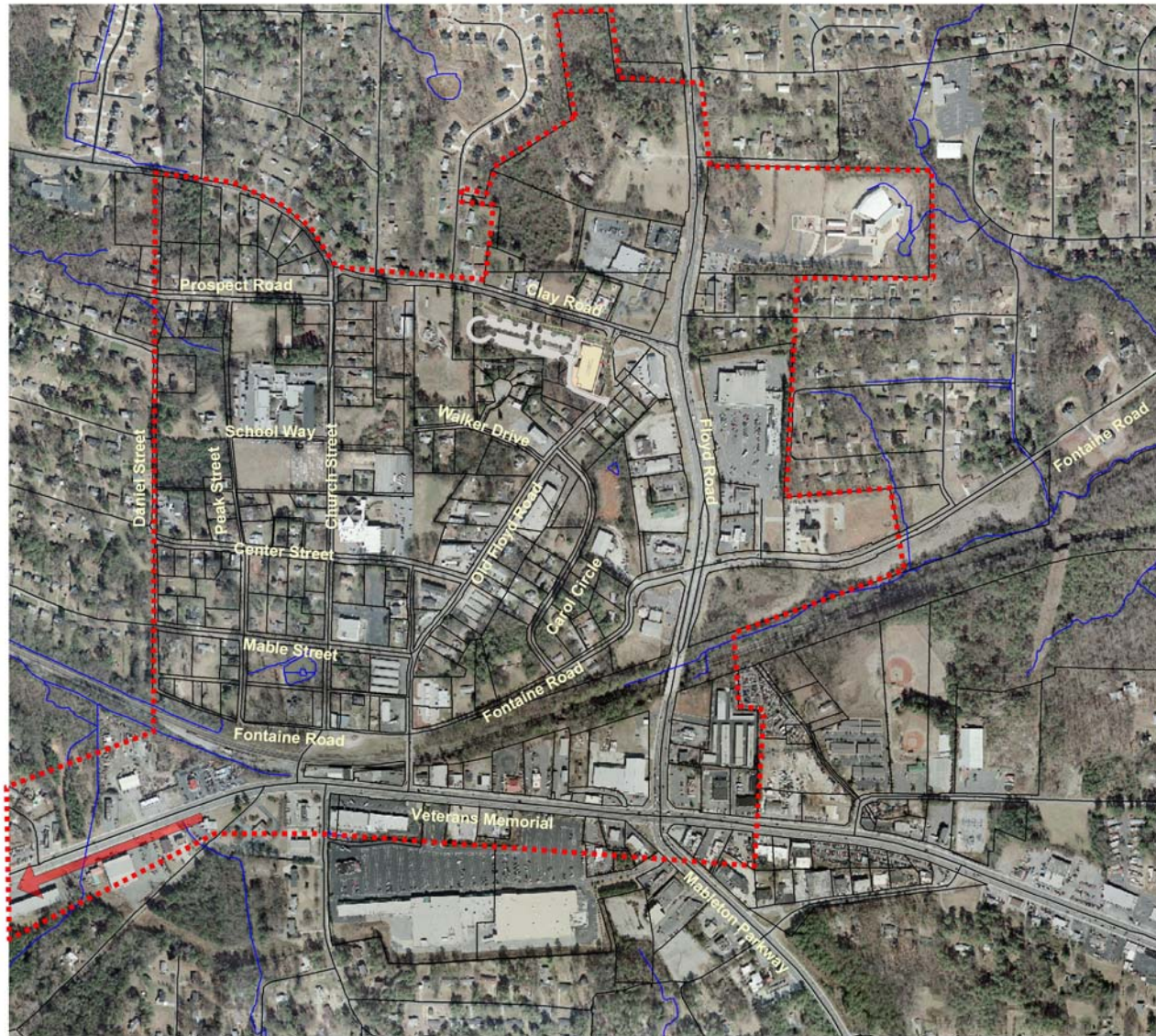
Applicability:

The Mableton residential design guidelines are intended to assist architects, planners and developers to make more informed design decisions, based on community preference.

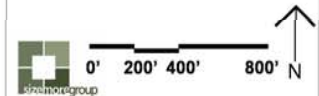
The guidelines are to be applied to all residential development within the study area as illustrated on the following page, and shall be applied to the review and approval of site plans and rezoning applications whenever residential uses are being considered.

Any developments that do not meet the design guideline standards, as determined by those in the site plan review process, may not receive building permits and/or rezoning approvals.

Residential Design Guidelines



Mableton Master Plan Update



Existing Residential Context

Mableton Existing Residential Context:

While the Historic Mableton study area lacks an easily identifiable sense of architectural character or identity, there are many different home styles, sizes and ages which contribute to a healthy diversity of housing stock.

The majority of the older single family homes are one-story ranches while the more recently developed homes are both one and two story.

Many of the homes reside on fairly large lots and are setback from the street between 20' – 50'+ feet.

While examples of exemplary homes on pristine lots are easily found, there are also a fair number of older homes with visible deferred maintenance.

Existing Home Styles



Historic bungalow



Shotgun home



1950's - 60's era ranch



Newly constructed home



Cape Cod style home



1960's era ranch with carport

Existing Residential Context

Existing Residential Context	
Positive Attributes	Negative Attributes
Some homes have covered porches and verandas with semi-private areas for outdoor enjoyment and neighborhood interaction.	Many of the porches are too small to accommodate the outdoor furniture that enables true usage of the space.
Most homes are oriented toward the street.	Large setbacks on large lots isolate the home from the pedestrian environment.
Many of the existing residential streets allow for parallel parking.	Homes that have garages or carports tend to dominate the front façade and deemphasize the main building entrance. Side entry garages or detached garages in the rear of the home are preferred and are not easily found in study area.
Some homes have walkways leading to the front door.	Individual front driveways add to pedestrian/vehicular conflict opportunities, serve as a major focal point and reduce the amount of land available for landscaping.
Mature trees are scattered throughout the single family residential communities.	A lack of street trees reduces the visual quality of the streetscape, reduces pedestrian activity and adds to the Atlanta "heat island" effect.
Existing street network is very well connected. The lack of dead end streets and cul-de-sacs creates multiple transportation options for residents.	Lack of continuous sidewalks discourage pedestrian activity. In addition, many of the existing sidewalks are in poor physical condition and are located directly adjacent to the street.

Positive Attribute Examples



Front porch



Walkway to front door



Home oriented to street

Negative Attribute Examples



Lack of sidewalks and street trees



Dominant garage and driveway



Lack of porch or clear entry

Single Family Residential Design Guidelines

Single Family Detached

I –Site Planning and Development Pattern:

A. Preservation of the Natural Environment

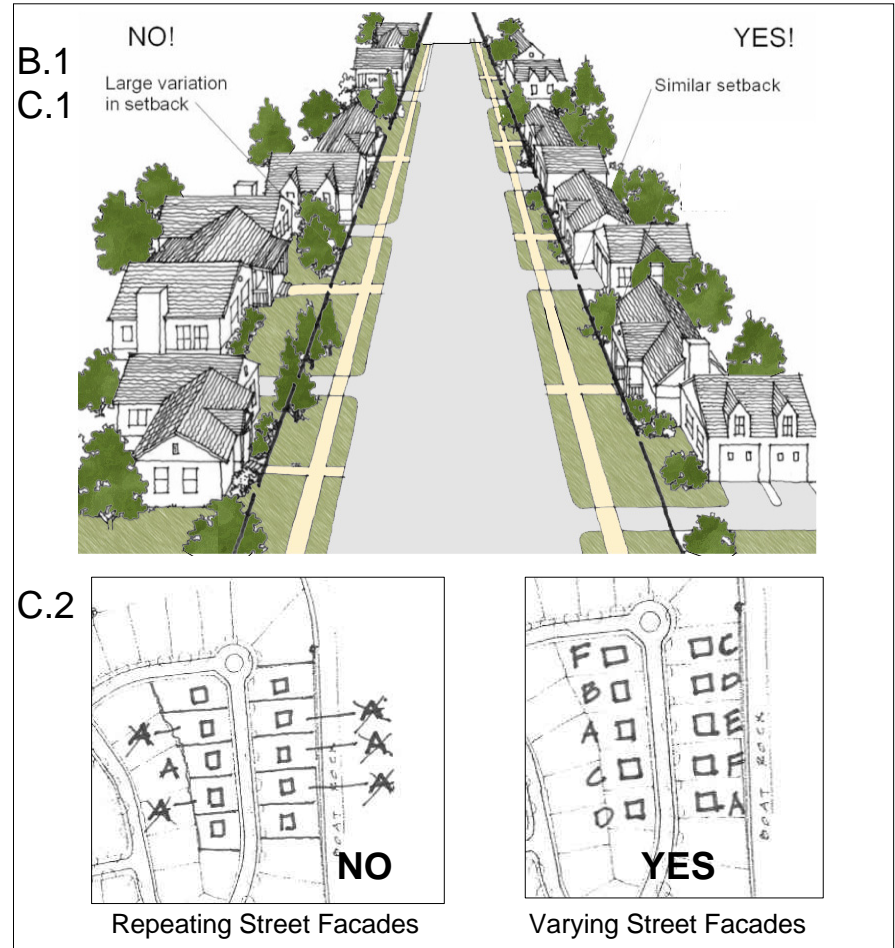
1. Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee.

B. Building Setback

1. Maintain existing setbacks within neighborhoods to ensure compatibility with the existing context and a uniform street edge. Setback Variations of +/- 10' are acceptable.

C. Building Orientation

1. The primary building façade and entrance shall face the primary street.
2. To avoid a monotonous street character, the same elevation shall not be repeated on adjacent homes or on two homes that are directly across the street from one another.



Single Family Detached

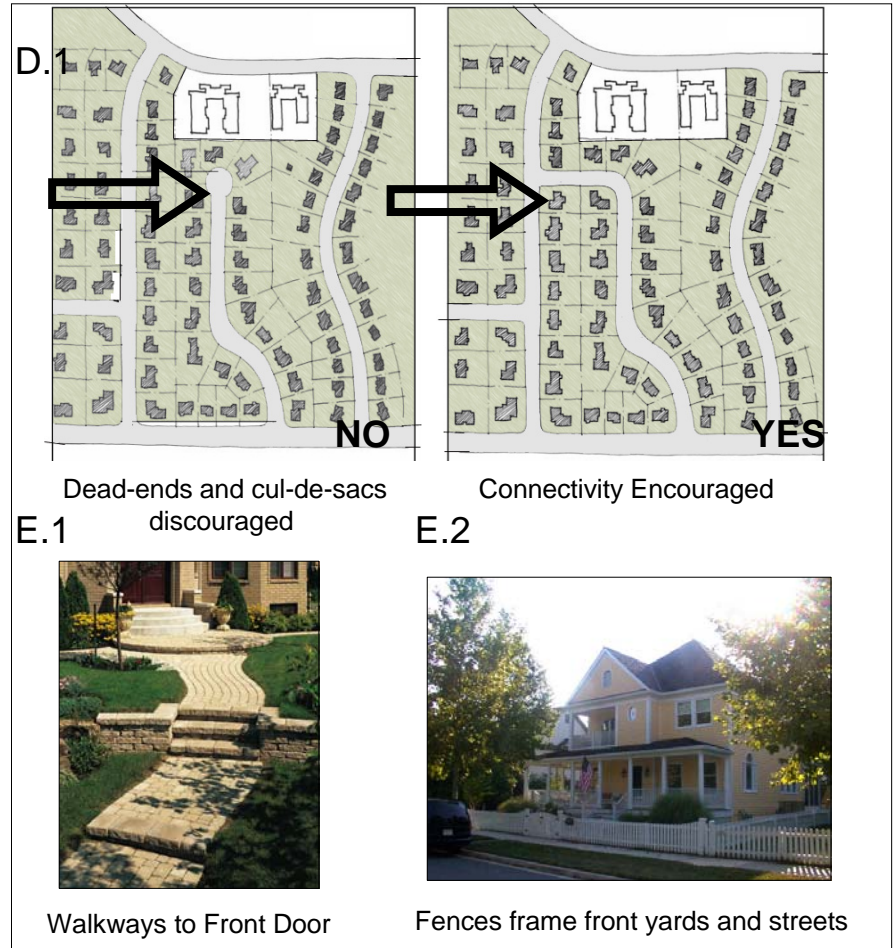
I –Site Planning and Development Pattern:

D. Street Connectivity

1. New single family homes shall be accessible via existing public streets. If a new street is required, they shall be compatible with existing public street system and shall connect through to existing streets.
2. Cul-de-sacs are strongly discouraged, as are dead-end streets

E. Site Details

1. Wherever possible, walkways shall be provided from existing sidewalks to the home front door entrance.
2. Low, yard defining picket fences are encouraged to frame both the street and front yard and provide a visual separation between the public and private realm.



Single Family Detached

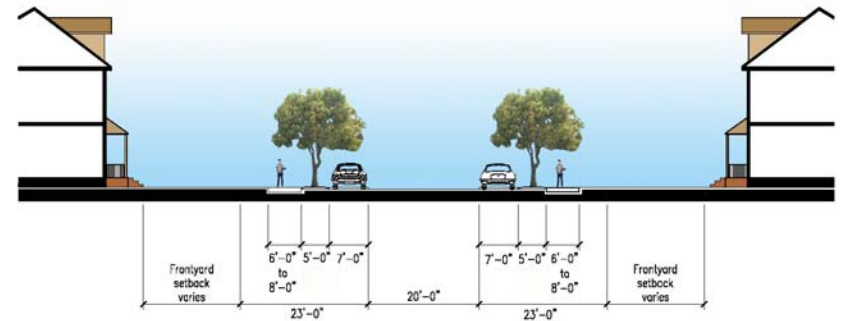
I –Site Planning and Development Pattern:

F. Street Section and Plan

1. New streets servicing single family residential communities shall have two lanes and an adequate width to accommodate parallel parking on both sides of the street. Sidewalks shall be provided on both sides of the street, separated from the street by a landscaped buffer (see diagram F.1).
2. Utility lines shall not be visible from the public street.

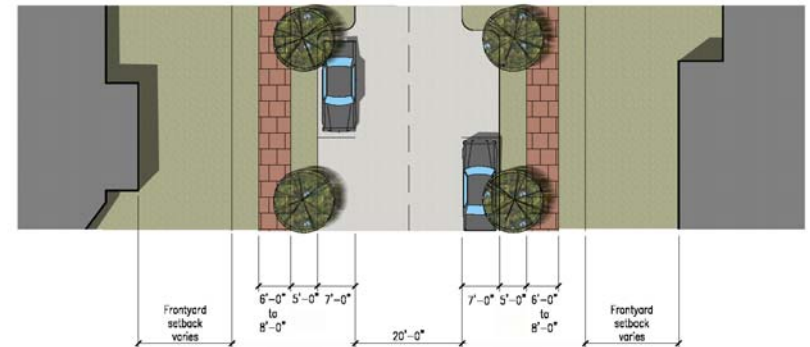


F.1



Typical SF Residential Street Section

F.1



Typical SF Residential Street Plan

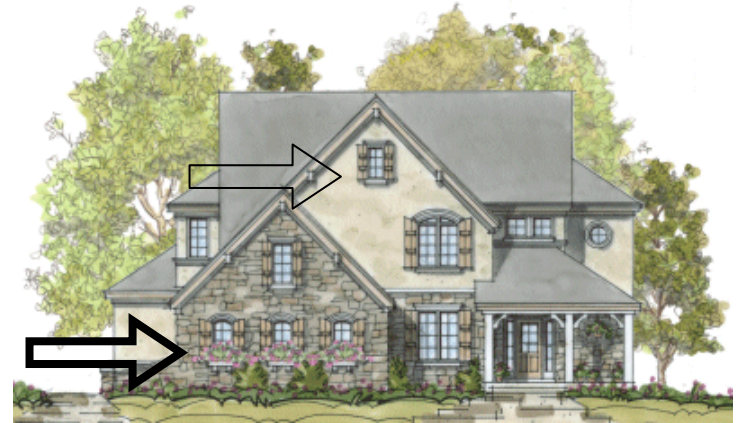
Single Family Detached

II –Building Form and Architectural Character:

A. Building Height, Bulk and Mass

1. Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all single family zoning districts.
2. Single family homes shall incorporate visually heavier , more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.
3. Infill residences should be compatible in scale and height with neighboring structures in order to blend, and not overwhelm them with disproportionate mass. The dominant existing scale of an established neighborhood should be maintained. Special attention should be given to the design of a two-story structure or addition constructed in a predominately one-story neighborhood to ensure that it is similar in scale and mass with surrounding structures and contributes to a harmonious transition between new development and the existing neighborhood.

A.2



Heavier, more massive materials at the base of the home

A.3



Massive scale infill housing does not fit into existing context



Compatible scale infill development

Single Family Detached

II –Building Form and Architectural Character:

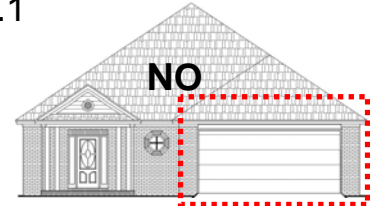
B. Garage Doors

1. Wherever possible, garage doors shall not be visible from the street. Side entrance and detached rear garages are encouraged if the site can accommodate.
2. If garages are to be located on the front façade, they should have individual doors for each space. Garage doors should have trims either of stone, brick or wood.

C. Porches

1. Entry porticos and front porches are encouraged. Porches add to the façade composition and promote community interaction. Porch depth should be a minimum of 6 feet to allow for furniture placement. Columns for porches should generally be of 8-inch diameter or 8-inch x 8-inch square for single storey porches and 10-inch diameter or 10-inch x 10-inch square for two storey porches. The height of porches should be minimum of 8 feet. Porch column bay should not exceed the height of the porch. Narrower bays are preferred. Twin columns should be minimum 4 inches of gap between them.

B.1



Garage dominates façade



YES

Side entry garage



Single door, 2-car garages



YES

Single-door garages are encouraged

C.1



Front porches add character to the façade and promote community



YES

Single Family Detached

II –Building Form and Architectural Character:

D. Windows

1. Vertically proportioned windows are encouraged. Stone or brick key stone lintels add to the character of the windows. Shutters are also encouraged and should be sized and mounted to appear operable. Shutter style can either be paneled or louvered.

Special windows such as bay windows, round, arched, oval, diamond can be used to add additional character to the façade. Varying window types help to help identify individual homeownership is encouraged.

E. Doors

1. Wooden 6 and 8 panel doors are encouraged. Door designs with sidelights and transom surrounds provide articulation and add light to the interior entry vestibule.

D.1



Vertically proportioned windows are encouraged



Bay windows add to façade composition

E.2



6 and 8 panel doors with sidelights provide articulation and add light to the interior vestibule



Single Family Detached

II –Building Form and Architectural Character:

F. Roof

1. The roof form on new single family homes shall be broken down or varied to reflect neighborhood scale and to provide visual interest by providing elements such as dormers, overhangs, varied slopes and varying rooflines.

G. Exterior Materials and Colors

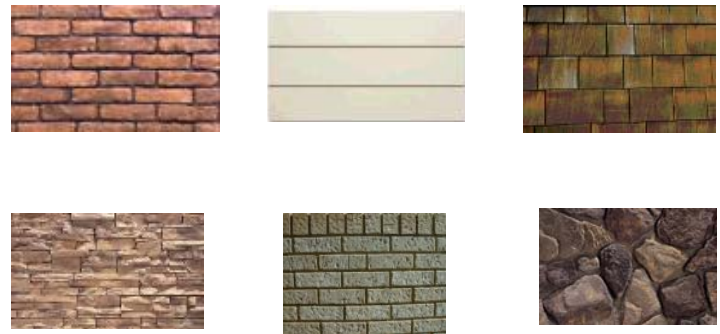
1. Acceptable exterior materials include brick, stone, concrete (hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.
2. Material continuity shall be provided between different sides of the home.

F.1



Varying roof forms help break down the mass and provide visual interest

G.1



Examples of acceptable exterior materials

Townhome Design Guidelines

Townhomes

I –Site Planning and Development Pattern:

A. Preservation of the Natural Environment

1. Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee.

B. Building Setback

1. Maintain existing setbacks within neighborhoods to ensure compatibility with the existing context. Setback variations for townhomes of +/- 10' are acceptable.
2. Stagger setbacks within townhome unit blocks by several feet to provide articulation between units and to break up the scale;
3. Space shall be provided in the front for and entry, front stoop and landscaping between the public sidewalk and the private townhome.

C. Building Orientation

1. The primary building façade and entrance of a townhome block shall face the primary street.
2. Create a street edge, based on a regular setback distance, to enclose and frame the street, with front doors facing the street;

B.1

B.2



Setbacks shall be staggered but in-line with existing development

C.1

C.2



Primary façade shall face major street at a regular setback distance

Townhomes

I –Site Planning and Development Pattern:

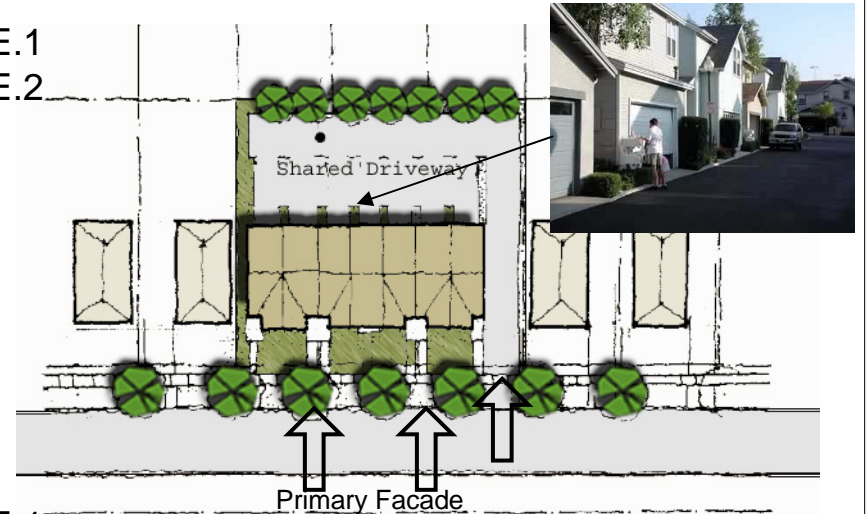
D. Streets and Access

1. New townhome developments should be accessible from existing public streets. If new streets are required, they should be extended and integrated into the existing Mableton public streets system.
2. Cul-de-sacs are strongly discouraged, as are dead-end streets

E. Driveways and Parking

1. Townhome garages/parking shall be located in the rear of the of the townhome units to reduce the impact of garage doors and asphalt parking on the façade.
2. Private shared driveways shall be provided to townhome blocks to reduce the number of curb cuts and pedestrian/vehicular conflict points and allow for unobtrusive servicing.
3. Individual front garages and/or parking shall only be considered if rear lanes and shared driveways cannot fit.

E.1
E.2



E.1
E.2

Shared entrances reduce the number of curb cuts



Rear garages and driveway enable garage door-free façades

Townhomes

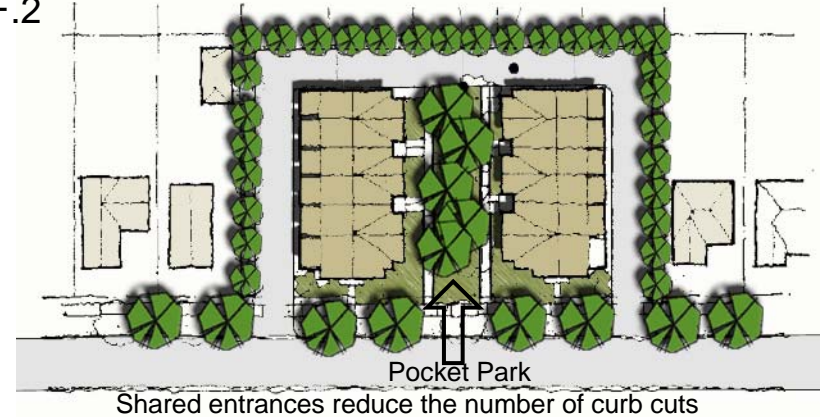
I –Site Planning and Development Pattern:

F. Open Space

1. Integrate natural attributes within the development, and where possible, leverage as public features within accessible open space.
2. Pocket parks of varying sizes are encouraged for both active and passive recreational activities. Primary façade should face pocket parks.
3. Where possible extend park and open space networks through the block to encourage the safe use of these spaces by the public.
4. Where existing parks are present, buildings should face parks and open spaces across a park right of way.



F.2



F.4



Townhomes

I –Site Planning and Development Pattern:

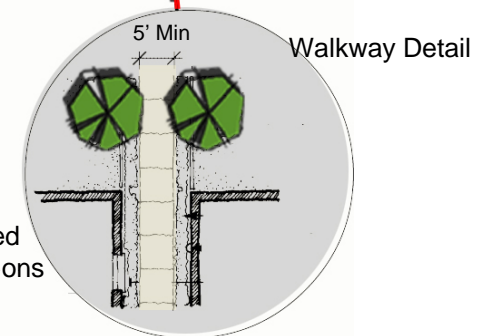
F. Walkways

1. Townhome developments shall provide publicly accessible pedestrian walkway networks where appropriate so pedestrians can access their neighborhood services and amenities from the public street/sidewalk.
2. Sidewalks are to provide easy, barrier free and direct access to public destinations;
3. Walkway consideration should be given to connect pedestrian routes to adjacent developments;
4. Windows are to be provided along the building side which faces sidewalks to encourage safe pedestrian usage.
5. Walkways are to be landscaped and well lit and are to be read as extensions of the existing public sidewalks and should therefore incorporate similar materials and streetscape elements.

F.2



F.4



Walkways should be provided for access to public destinations and adjacent developments

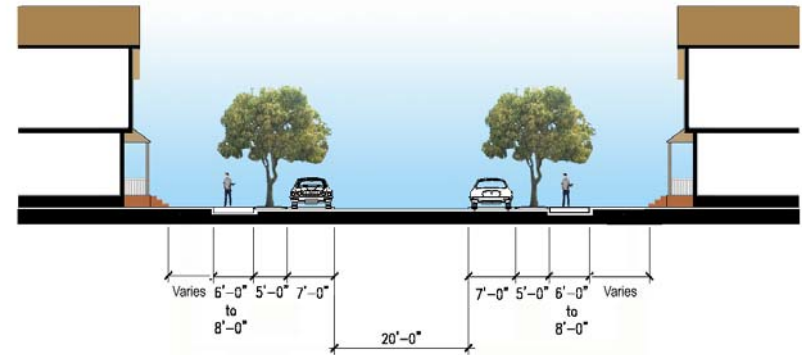
Townhomes

I –Site Planning and Development Pattern:

F. Street Section and Plan

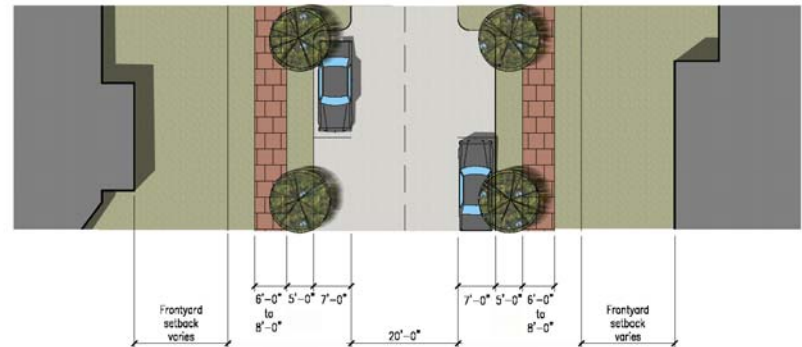
1. New streets servicing townhome communities shall have two lanes and an adequate width to accommodate parallel parking on both sides of the street. Sidewalks shall be provided on both sides of the street, separated from the street by a landscaped buffer.
2. Utility lines shall not be visible from the public street.
3. The street proportion (the relationship between height of the building and the width of the street) shall allow for adequate sunlight, views and privacy.

F.1



Typical SF Townhome Street Section

F.1



Typical SF Townhome Street Plan

Townhomes

II –Building Form and Architectural Character:

A. Building Height, Bulk and Mass

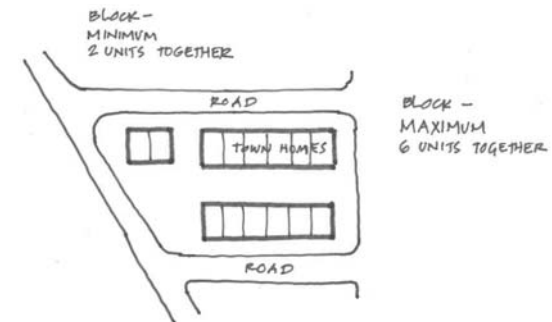
1. Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all single family zoning districts. In general, townhomes should be either one or two stories in height.
2. Townhomes shall incorporate visually heavier, more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.
3. Infill townhomes should be compatible in scale and height with neighboring structures in order to blend, and not overwhelm them with disproportionate mass. The total block length should not exceed six units with the minimum length being two units

A.2



Heavier, more massive materials at the base of the home

A.3



Townhome block length should not exceed six units

Townhomes

II –Building Form and Architectural Character:

B. Building Facade

1. Building façade should vary in design and proportion between units so as not to read as a repetitious and monotonous design. A mix of façade designs helps to break up the unit mass and provides more visual interest from the street.

B.1



Varying unit facades within the townhome block help to articulate individual living units

Townhomes

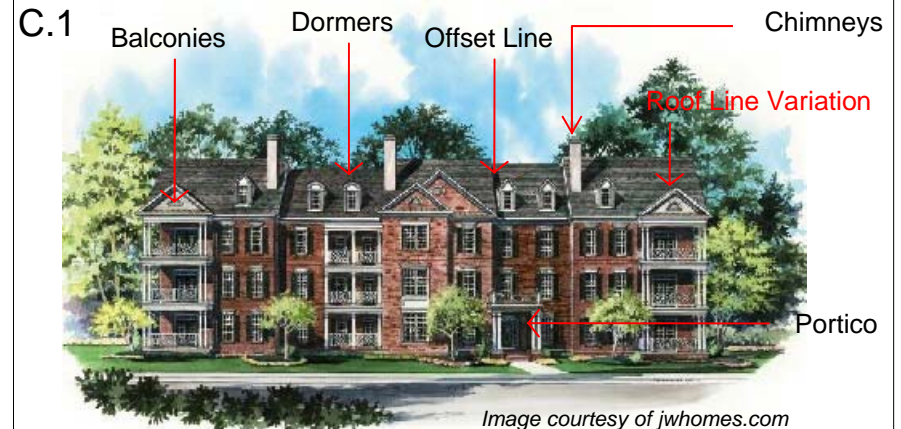
II –Building Form and Architectural Character:

C. Details and Articulation

1. Townhomes shall incorporate details such as front porches, balconies, dormers, porticos, projecting chimneys on the roof, and roof line variations to enhance the character of the design and the townhome units.

D. Exterior Materials and Colors

1. Acceptable exterior materials for townhomes include brick, stone, concrete (hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.
2. Material continuity shall be provided between different sides of the home.



Examples of townhome details that add visual interest and break up mass

D.1



Examples of acceptable exterior materials

Multi-Family/Condo Guidelines

Multi-Family/Condo Residential

I –Site Planning and Development Pattern:

A. Preservation of the Natural Environment

1. Natural features such as mature trees, rolling topography, streams and creek beds shall be preserved. Clear cutting of development sites shall be avoided, except as deemed appropriate by the Cobb County site plan review committee.

B. Building Orientation

1. The primary multi-family/condo façade and entrance shall face the primary street or major access drives.

A.1



Mature trees shall be preserved

B.1



Primary façade should face, and frame the street

Multi-Family/Condo Residential

I –Site Planning and Development Pattern:

C. Open Space for Multi-Family/Condo Developments

1. The *minimum* amount of open space within a multi-family/condo development shall be no less than 4% of the total site acreage.
2. Multi-family/condo units should be arranged to enclose open/common spaces. Natural areas can be leveraged as open space. Multi-family developments should include at least four of the following features within the usable open space:
 1. Mature trees
 2. Seating areas
 3. Pocket parks
 4. Pedestrian-scale site lighting
 5. Gazebos other similar gathering areas
 6. Play structures for children
 7. Multi-purpose paths/walkways
 8. Recreational amenities
3. Areas that do not qualify as open space include public right of ways, streets and drives, parking lots and structures, land between buildings less than 40 feet wide, required setbacks, and retention or detentions areas.

C.2



Open space with seating and landscaping



Mature trees



Pocket park with benches

Multi-Family/Condo Residential

I –Site Planning and Development Pattern:

D. Streets and Access

1. New multi-family/condo developments shall be accessible from existing public streets. If new streets are required, they should be extended and integrated into the existing Mableton public streets system.
2. Cul-de-sacs are strongly discouraged, as are dead-end streets

E. Parking

1. Off-street parking shall not be permitted between the primary street and the multi-family building façade.
2. Parking lots and structures shall be internalized and oriented away from the street.
3. Off-street surface parking shall be broken up into smaller lots to reduce the visual impact of parking lots. Landscaping and designated pedestrian walks shall be provided within the parking lots.

D.1



Connectivity within multi-family developments shall be provided

E.1

E.2

E.3



Parking should be located in the rear of buildings away from streets

Multi-Family/Condo Residential

I –Site Planning and Development Pattern:

F. Pedestrian Access and Walkways

1. Multi-family/condo developments shall provide publicly accessible pedestrian walkway networks where appropriate so pedestrians can access their neighborhood services and amenities from the public street/sidewalk.
2. Sidewalks are to provide easy, barrier free and direct access to public destinations;
3. Walkway consideration should be given to connect pedestrian routes to adjacent developments;
4. Windows are to be provided along the building side which faces sidewalks to encourage safe pedestrian usage.
5. Walkways are to be landscaped and well lit and are to be read as extensions of the existing public sidewalks and should therefore incorporate similar materials and streetscape elements.

F.2



Walkways and sidewalks provide pedestrian access to and within multi-family developments

Multi-Family/Condo Residential

II –Building Form and Architectural Character:

A. Building Height, Bulk and Mass

1. Please refer to the Cobb County Code of Ordinances, Article IV District Regulations – Section 134-191 for summary requirements for height and bulk for all multi-family/condo zoning districts.
2. The maximum length for any one multi-family building will be 200 feet.
3. If any portion of a multi-family/condo building is located directly adjacent to a lower density (single family detached or townhome) development, the end unit shall step down in scale on the adjacent end.

A.2



Multi-family development shall correspond to the existing residential scale

A.3



Maximum building length of 200'

Multi-Family/Condo Residential

II –Building Form and Architectural Character:

B. Character

1. Each multi-family/condo building shall have a consistent architectural theme. The mixing of styles, within the same building, dilutes the character of the project.
2. All sides of the multi-family/condo building shall be designed with the same level of architectural interest.
3. All multi-family/condo building entries shall be pedestrian scaled.
4. Multi-family/condo buildings shall incorporate visually heavier, more massive elements at the base and visually lighter elements above the base. The upper floors shall not appear heavier or more massive than the base which is supporting it.

B.1



Consistent architectural themes tie the development together

B.4



Heavier, more massive materials at the base of the home

Multi-Family/Condo Residential

II –Building Form and Architectural Character:

C. Details and Articulation

1. Multi-family/condo buildings shall incorporate details such as front porches, balconies, dormers, porticos, projecting chimneys on the roof, and roof line variations to enhance the character of the design and the townhome units.

D. Exterior Materials and Colors

1. Acceptable exterior materials for multi-family/condo buildings include brick, stone, concrete (hardiplank), wood and architectural shingles. Acceptable roof materials include concrete, slate, roofing tile, wood shakes and asphalt. The building's exterior color scheme shall utilize primarily muted, neutral, or earth tone type colors. The primary use of bright, intense, or extreme colors shall not be permitted in Historic Mableton. Overall, the colors shall correspond to those colors found within the existing Historic Mableton study limits.

C.1

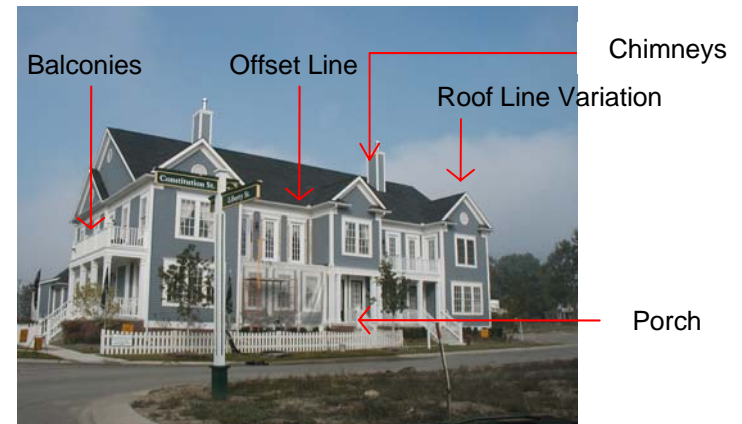
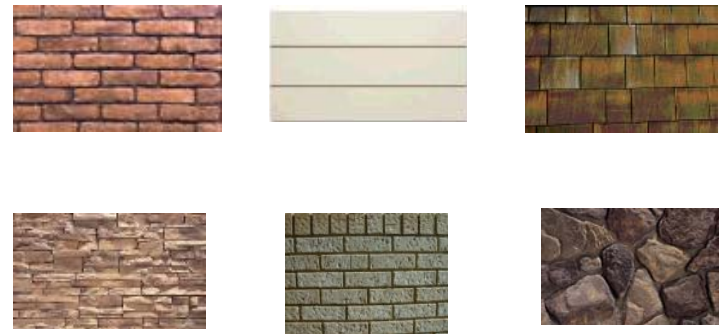


Image courtesy of jwhomes.com

Examples of details that add visual interest and break up mass

D.1



Examples of acceptable exterior materials

Streetscape Environment

Residential Streetscape

I –Streetscape Environment:

A. Landscaping

1. Maximize landscaping in both the public right-of-way and private lots;
2. Provide street planting at 20' – 30' on-center spacing within the landscape buffer;
3. Use a variety of native trees and ornamental shrubs on private property, adjacent to streets;

A.2

A.3



Street Trees 20'-30' O.C



Native and ornamental vegetation



Streetscape environment ties together different size and style homes

Residential Streetscape

I –Streetscape Environment:

B. Streetscape Elements and Materials

1. Pedestrian scale period lighting is encouraged and should tie into the recently adopted South Cobb Regional Library lighting standard (see graphic B.1).
2. Accent sidewalk pavers are encouraged to provide texture and scale to the pedestrian environment and shall reference the street pavers used around the South Cobb Regional Library (see graphic B.2).

B.1



The “Washington” light post, manufactured by Shakespeare with an “Acorn” fixture, manufactured by Cooper, shall be the standard street lighting fixtures throughout the study area

B.2



Peachtree
Avenue



Double
Basketweave

The “Peachtree Avenue beveled” style pavers, manufactured by Boral Pavers (or comparable) shall be used, in a double basket weave pattern.

Residential Streetscape

I –Streetscape Environment:

B. Streetscape Elements and Materials

4. New residential developments shall use the library standard streetscape benches and trash receptacles (see graphic B.4). Additional streetscape elements such as tree grates, fences and railings shall also be compatible with the library standards.

B.4



The “Sienna Bench” assembled with a powder-coated cast aluminum frame and A+ grade recycled plastic lumber slats is to be used as the standard streetscape bench in the study area.

B.4



The Stadium Series SMB receptacles are to be used as the standard trash receptacle in the study area.